

# PRIMARY PLAT AND OVERALL DEVELOPMENT PLAN

## FOR

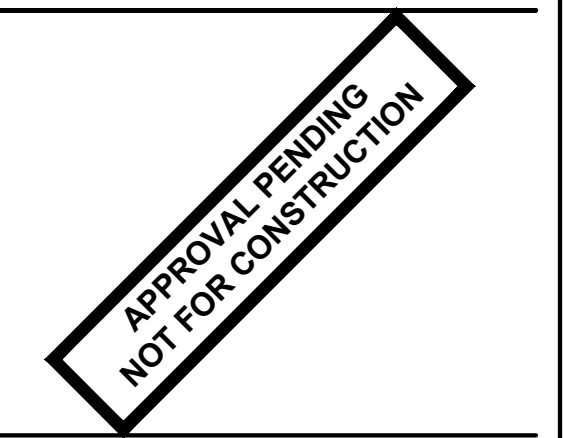
### MULE BARN ROAD COMMERCIAL PUD

### WESTFIELD, INDIANA



#### MULE BARN ROAD COMMERCIAL PUD

18404 Mule Barn Road  
Westfield, Indiana



CERTIFIED BY

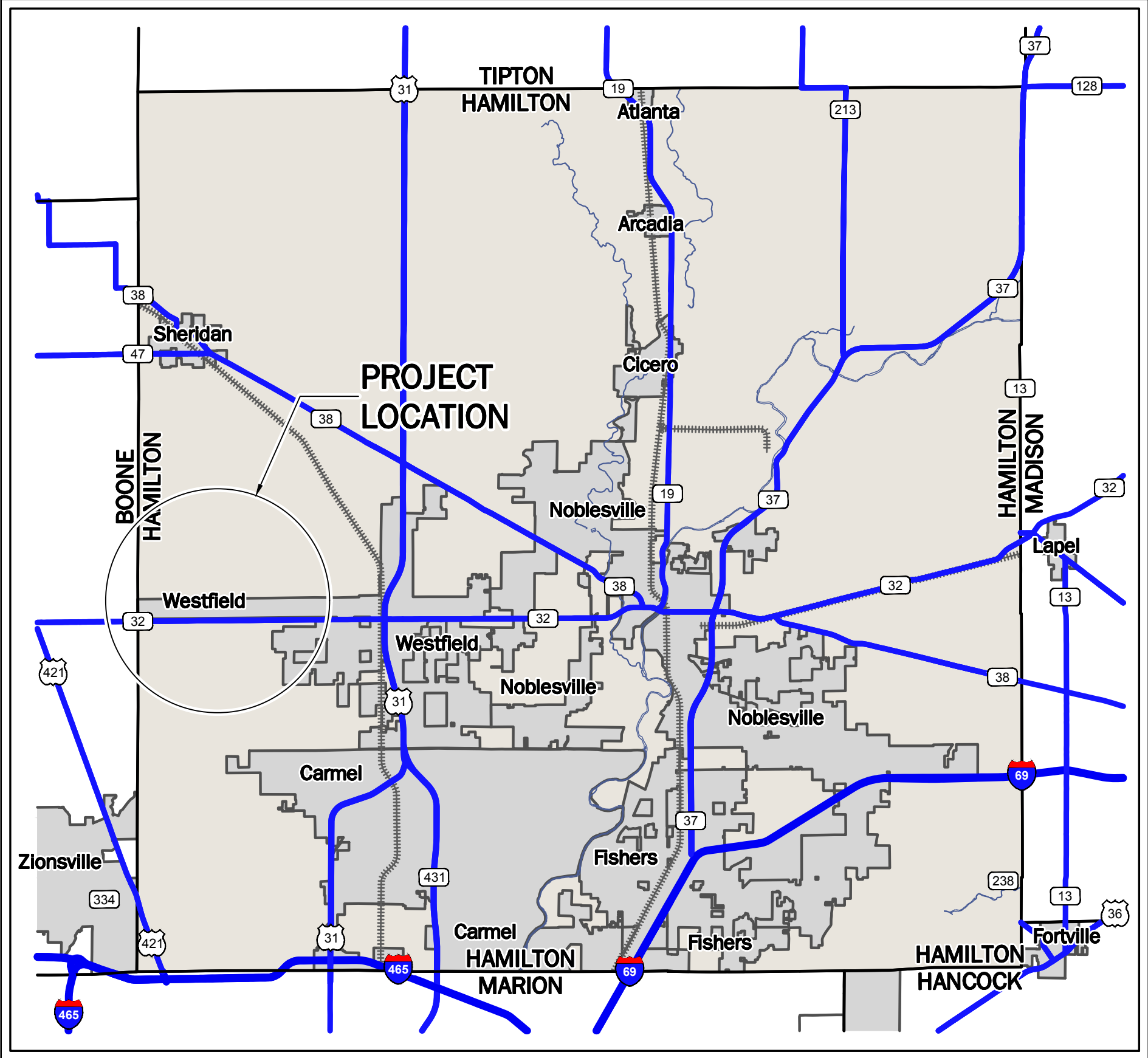
ISSUANCE INDEX		
DATE:	07/23/2021	
PROJECT PHASE:	ISSUE FOR PERMIT	

REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

Project Number 2020.01414

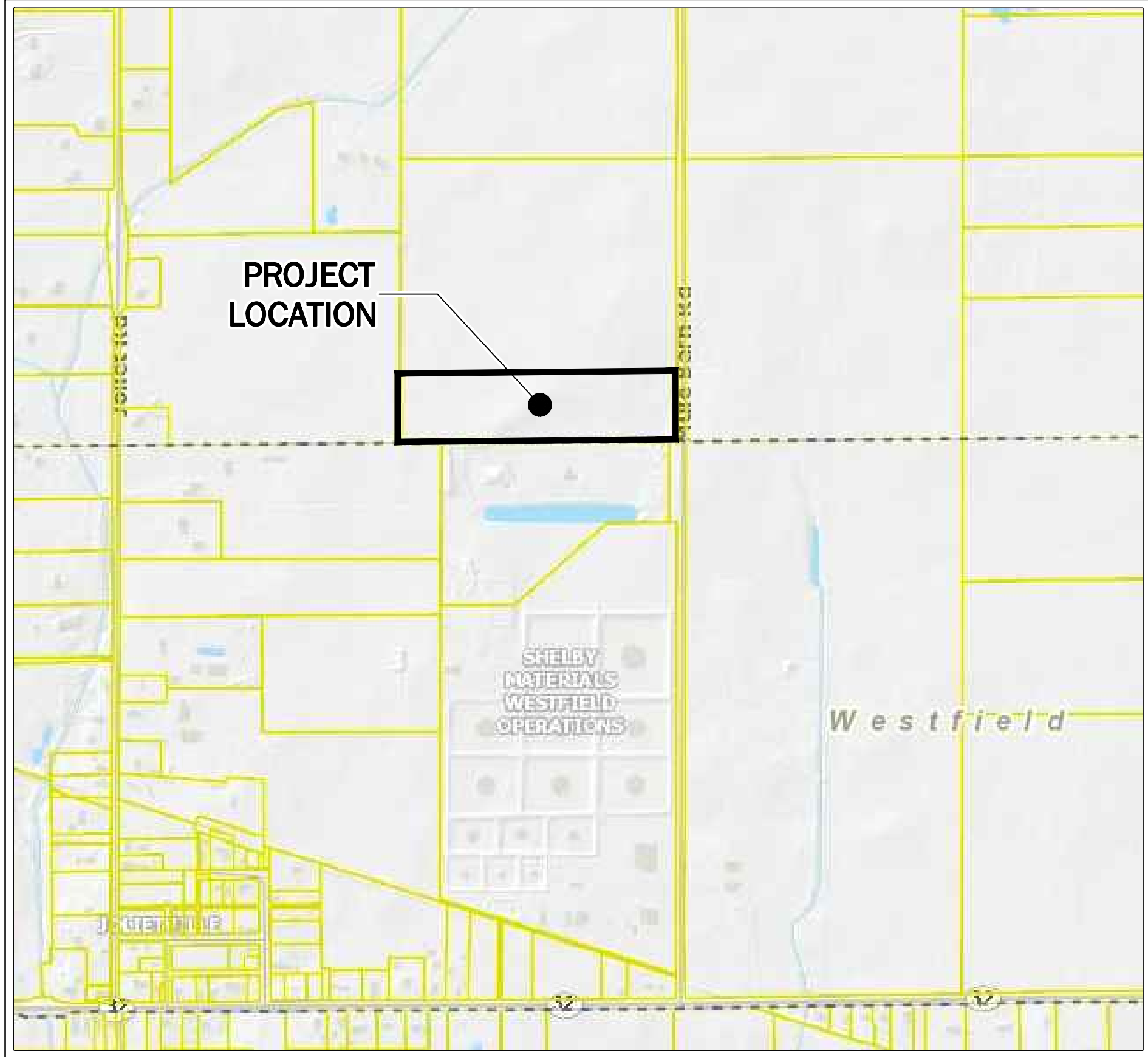
#### TITLE SHEET

# C001



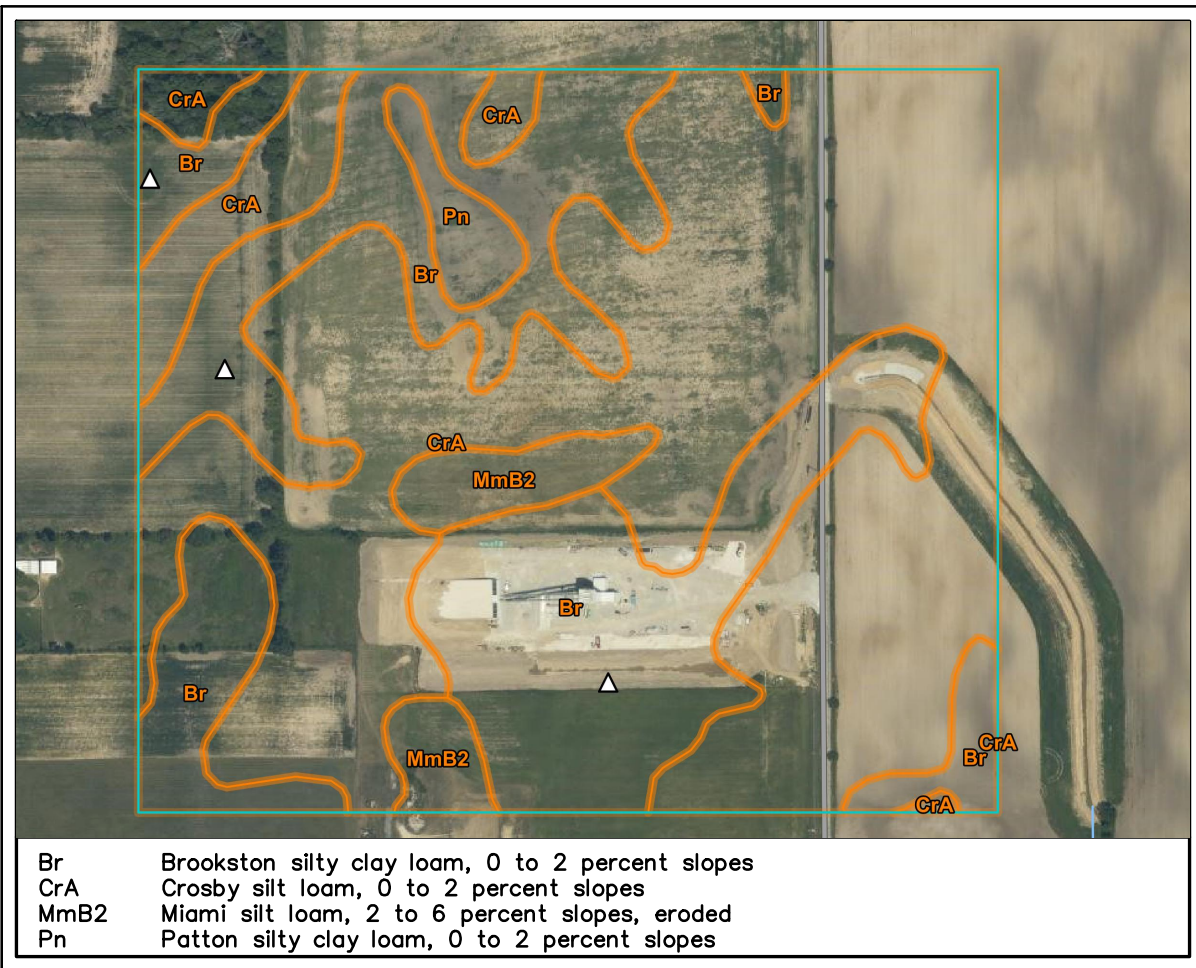
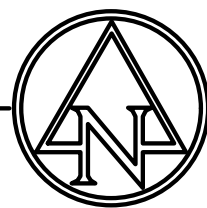
#### LOCATION MAP

NOT TO SCALE



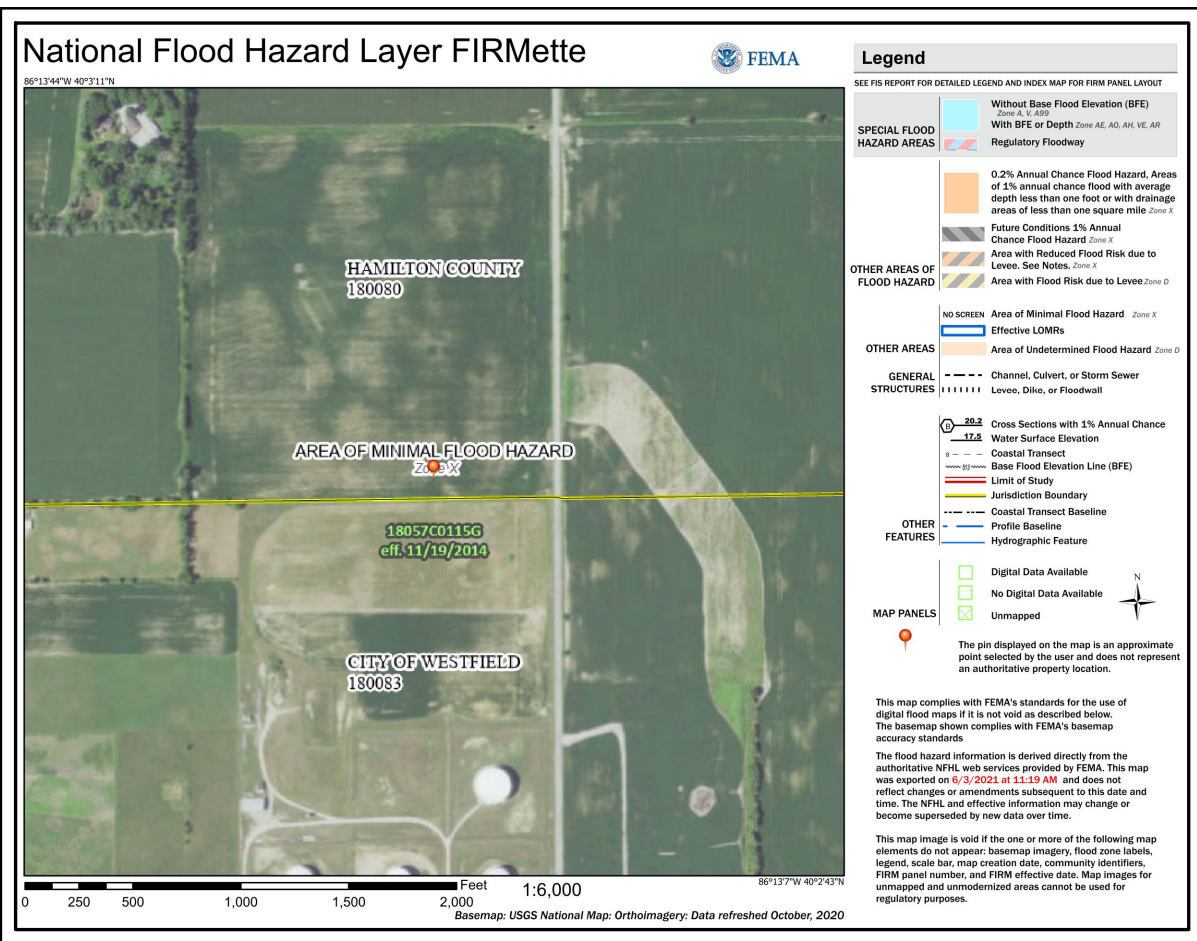
#### VICINITY MAP

NOT TO SCALE



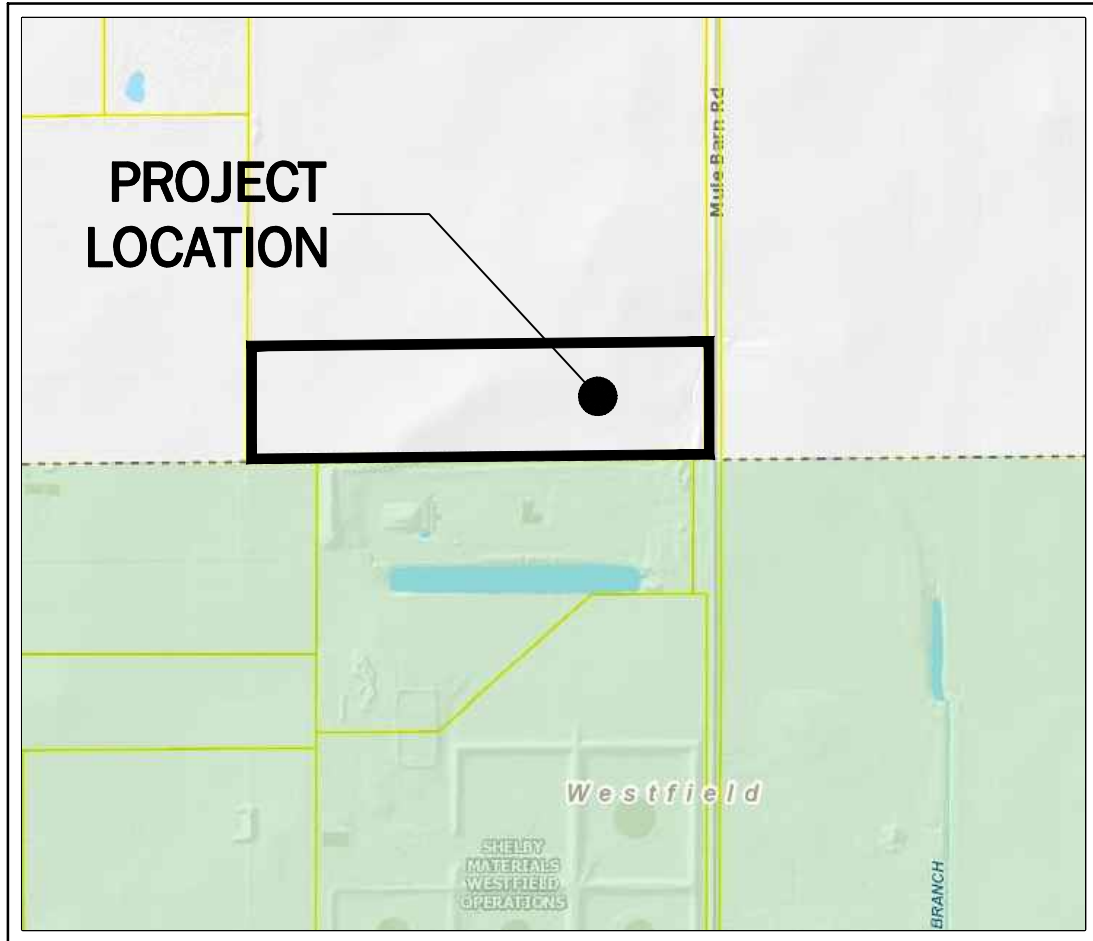
#### SOILS MAP

NOT TO SCALE



#### FEMA MAP

NOT TO SCALE



#### ZONING MAP

NOT TO SCALE

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PRIMARY PLAT	C200
DEVELOPMENT PLAN	C300
LANDSCAPE PLAN	L100

ADJACENT PROPERTY OWNERS AND PARCEL NUMBER	
PARCEL NUMBER	OWNER
08-05-29-00-00-023.001	WARD, CHRIS G
08-05-31-00-00-007.000	MARILYN A ROBERTS, JANET D ROBERTS, & R MARCUS & DEBBIE R WILEY H&W
08-05-29-00-00-025.000	HJW HOLDINGS VI LLC
08-05-29-00-00-023.000	HJW HOLDINGS VI LLC
08-05-31-00-00-008.000	MARILYN A ROBERTS, JANET D ROBERTS, & R MARCUS & DEBBIE R WILEY H&W
08-05-31-00-00-006.000	MAULDEN, RICK & KAREN
08-05-29-00-00-024.000	YOUNGER, JAMES P & JUDITH
08-05-29-00-00-023.102	YOUNGER, JAMES P & JUDITH
08-05-31-00-00-012.001	SHELBY GRAVEL INC
08-05-32-00-00-008.005	MATNEY, KERRY L REV TRUST & DEBRA K MATNEY REV TRUST
08-05-29-00-00-023.002	WEAVER, ANDREW L & KRISTEN M
08-05-29-00-00-025.001	HRKK LLC
08-05-32-00-00-007.001	WHITE, GILLIAN L REV TRUST
08-05-31-00-00-010.001	WOOD FARMS LLC
08-05-31-00-00-006.002	MELLENCAMP, ADAM & LAUREN H&W
08-05-32-00-00-007.000	FRIDDLE, JARED K & RHIANNON J H&W
08-05-32-00-00-008.002	DRIVER, CHARLES E & ANDREA
08-05-32-00-00-005.000	PARKS, CLEO I TRUST
08-05-32-00-00-006.001	ROBERTS, JOHNNY E
08-05-30-00-00-010.000	GEORGE, ROBERT EUGENE I TRUSTEE OF ROBERT EUGENE GEORGE I TRUST
08-05-32-00-00-003.000	HJW HOLDINGS V LLC
08-05-32-00-00-009.000	TOLERSON, TERRI A
08-05-32-00-00-005.001	TOLERSON, TERRI A
08-05-32-00-00-023.000	HJW HOLDINGS V LLC
08-05-32-00-00-008.004	SENERIUS, GREGORY N & REGINA C
08-05-32-00-00-008.003	DIETZ, AARON K & KRISTI
08-05-31-00-00-012.000	INDIANA FARM BUREAU CO-OPERATION
08-05-31-00-00-011.000	ARSZMAN, MICHELLE
08-05-31-00-00-013.002	LANCASTER, KENT

#### OWNER

BRADLEY E. ROBERTS AND JARED W. ROBERTS  
18519 MULE BARN ROAD  
WESTFIELD, IN 46074

#### GENERAL NOTES:

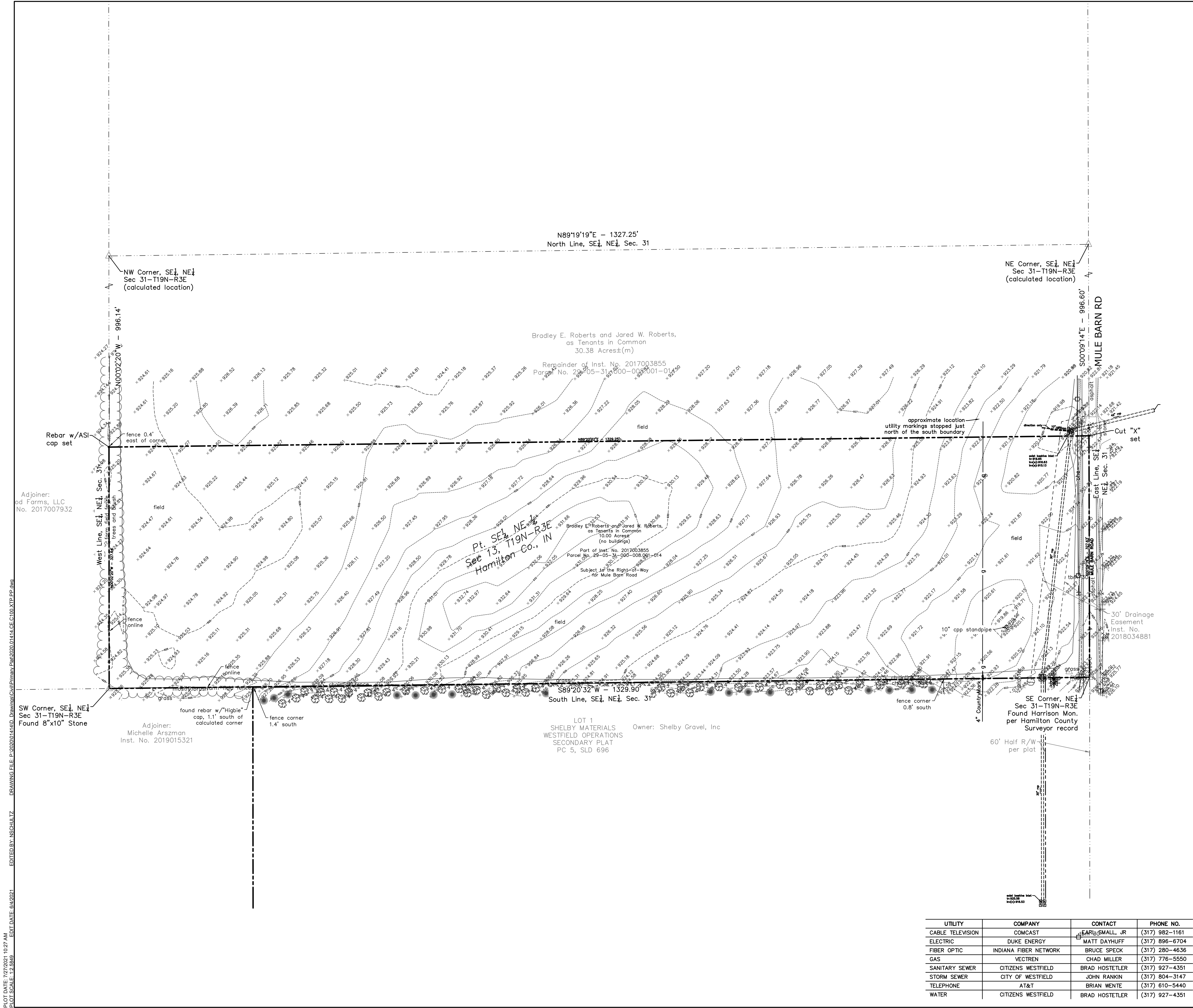
- CONTRACTOR SHALL PROTECT AND NOT DESTROY THE PROPERTY CORNER MONUMENTS DURING CONSTRUCTION.
- CONTRACTOR TO VERIFY LOCATION, SIZE AND DEPTH OF EXISTING UTILITIES PRIOR TO COMMENCING ANY CONSTRUCTION. CONTACT ENGINEER IF VARIATION EXISTS.
- SEE SHEET C002 GENERAL NOTES FOR MORE INFORMATION.

#### !! CAUTION !!

THE LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON ABOVE GROUND EVIDENCE (including, but not limited to, manholes, inlets, valves, and marks made upon the ground by others) AND ARE SPECULATIVE IN NATURE. THERE MAY ALSO BE OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH THERE IS NO ABOVE GROUND EVIDENCE OR FOR WHICH NO ABOVE GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF SAID EXISTING UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY AND ALL CONSTRUCTION.

CALL TOLL FREE  
"811" OR 1-800-382-5544  
- INDIANA UNDERGROUND -





0' 60' 120'

SCALE: 1"=60'

### EXISTING LEGEND

	Air Conditioner		Stand Pipe
	Bush		Stump
	Clean Out		Telephone Pole
	Combination Pole		Telephone Pedestal
	Electric Box		Transformer
	Electric Meter Box		Tree
	Gas Meter		Telephone Cross Box
	Gas Marker Sign		Water Meter
	Gas Valve		Overhead Electric Line
	Guy Wire		Buried Gas Line
	Mailbox		Overhead Telephone Line
	Pine		
	Pole		
	Post		
	Power Pole		
	Right Of Way Monument		
	Satellite		
	Sign		

### BENCHMARK DATA

(NAVD 88 DATUM)  
HORIZONTAL AND VERTICAL ESTABLISHED BY OPUS SOLUTION #72632790.200 AT POINT #500 ON INGS (HAMILTON COUNTY) CHECK NGS BENCH B112 (+0.003')

BASE #500 REBAR IN GRASS  
ELEV:900.03

TBM #50  
MAG SPIKE SET NW SIDE UTILITY POLE #300-633, ±30' EAST OF E EAGLE TOWN ROAD AND ±20' SOUTH OF E SR 32.  
ELEV:901.997

TBM #51  
MAG SPIKE EAST SIDE UTILITY POLE #074-600, ±15' WEST OF E EAGLE TOWN ROAD AND ±60' SOUTH OF E GRASS FIELD ENTRANCE.  
ELEV:900.343

TBM #52  
MAG SPIKE EAST SIDE UTILITY POLE #199-699, ±20' SOUTH OF E ASPHALT DRIVE AND ±20' WEST OF E STONE DRIVE.  
ELEV:904.140

TBM #53  
RAILROAD SPIKE FOUND NORTH SIDE UTILITY POLE #300-638, ±60' SOUTH OF E SR 32 AND ±65' WEST OF E WASHINGTON STREET.  
ELEV:897.097

### LEGAL DESCRIPTION

A PART OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER, SECTION 31, TOWNSHIP 19 NORTH, RANGE 3 EAST OF THE SECOND PRINCIPAL MERIDIAN, HAMILTON COUNTY, INDIANA, BEING A PART OF THAT 10.000 ACRE TRACT OF LAND SHOWN ON THE PLAT OF SURVEY PREPARED BY TRACY L. MCGILL, PROFESSIONAL SURVEYOR #LS20500009 ON MARCH 26, 2021, AMERICAN STRUCTUREPOINT, INC. PROJECT NUMBER 2020.01414, AND DESCRIBED AS FOLLOWS:  
BEGINNING AT A THE SOUTHEAST CORNER OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 31; THENCE SOUTH 89 DEGREES 20 MINUTES 32 SECONDS WEST (BASIS OF BEARING - INDIANA GEOSPATIAL COORDINATE SYSTEM'S (INGCS) "MARION") 1,329.90 FEET ALONG THE SOUTH LINE OF SAID QUARTER-QUARTER SECTION TO THE SOUTHWEST CORNER THEREOF; THENCE NORTH 0 DEGREES 2 MINUTES 20 SECONDS WEST 327.64 FEET ALONG THE WEST LINE OF SAID QUARTER-QUARTER SECTION; THENCE NORTH 89 DEGREES 20 MINUTES 32 SECONDS EAST, PARALLEL WITH THE AFOREMENTIONED SOUTH LINE, 1,329.25 FEET TO THE EAST LINE OF SAID QUARTER-QUARTER SECTION; THENCE SOUTH 0 DEGREES 9 MINUTES 14 SECONDS EAST 327.63 FEET ALONG SAID EAST LINE TO THE POINT OF BEGINNING AND CONTAINING 10.000 ACRES, MORE OR LESS.

### GENERAL NOTES:

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"811" OR 1-800-382-5544  
- INDIANA UNDERGROUND -

UTILITY	COMPANY	CONTACT	PHONE NO.
CABLE TELEVISION	COMCAST	EARLY, SMALL, JR	(317) 982-1161
ELECTRIC	DUKE ENERGY	MATT DAYHUFF	(317) 896-6704
FIBER OPTIC	INDIANA FIBER NETWORK	BRUCE SPECK	(317) 280-4636
GAS	VECTREN	CHAD MILLER	(317) 776-5550
SANITARY SEWER	CITIZENS WESTFIELD	BRAD HOSTETLER	(317) 927-4351
STORM SEWER	CITY OF WESTFIELD	JOHN RANKIN	(317) 804-3147
TELEPHONE	AT&T	BRIAN WENTE	(317) 610-5440
WATER	CITIZENS WESTFIELD	BRAD HOSTETLER	(317) 927-4351

Irving Materials, Inc.

AMERICAN STRUCTUREPOINT INC.

9025 River Road, Suite 200 | Indianapolis, Indiana 46240  
TEL 317.547.5580 | FAX 317.543.0270  
www.structurepoint.com

### MULE BARN ROAD COMMERCIAL PUD

18404 Mule Barn Road  
Westfield, Indiana

APPROVAL PENDING  
NOT FOR CONSTRUCTION

CERTIFIED BY

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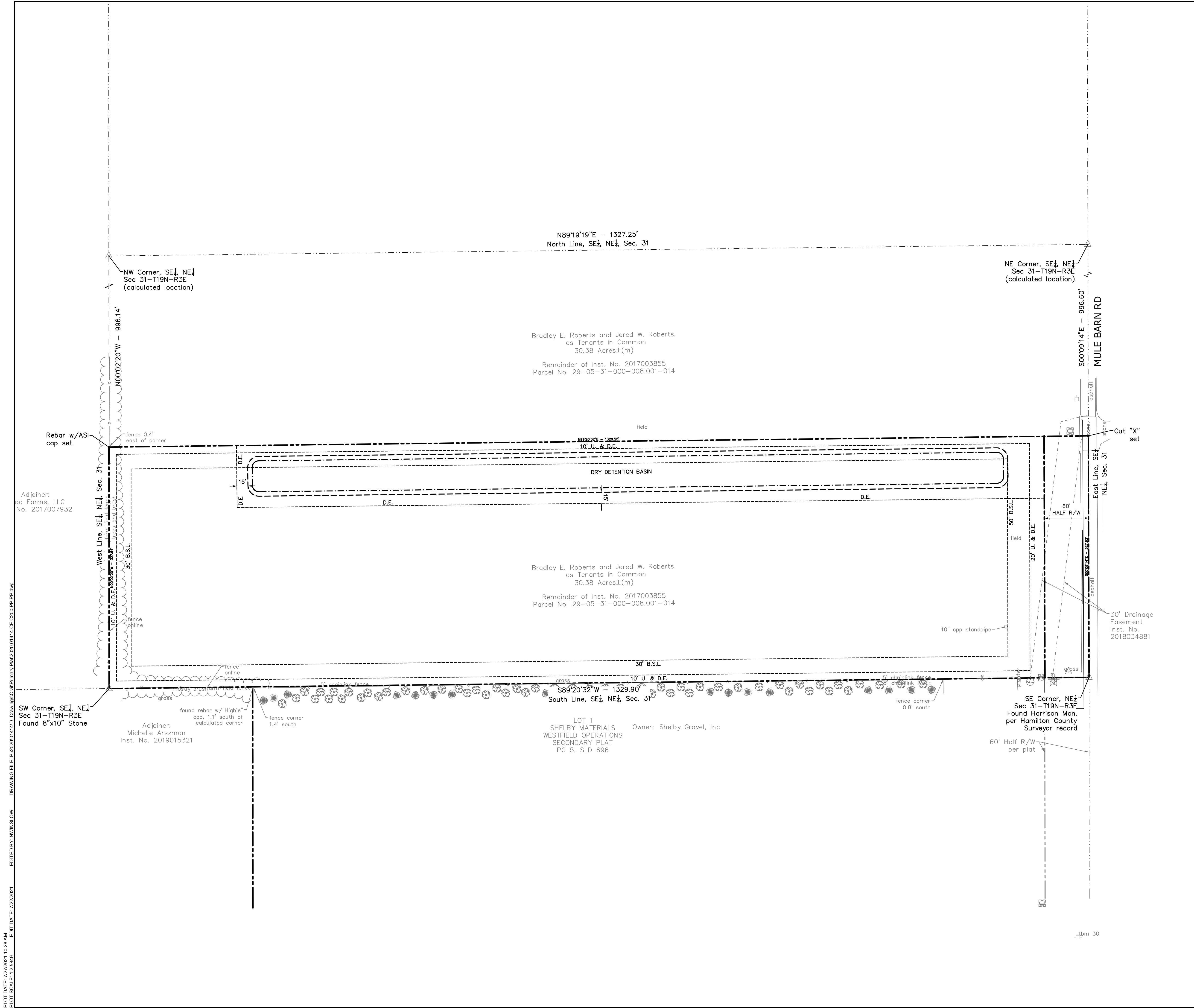
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### EXISTING TOPOGRAPHY PLAN

# C100





### EXISTING LEGEND

Air Conditioner	Stand Pipe
Bush	Stump
Clean Out	Telephone Pole
Combination Pole	Telephone Pedestal
Electric Box	Transformer
Electric Meter Box	Tree
Gas Meter	Telephone Cross Box
Gas Marker Sign	Water Meter
Gas Valve	-oh- Overhead Electric Line
Guy Wire	-g- Buried Gas Line
Mailbox	-oh- Overhead Telephone Line
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Right Of Way Monument	
Satellite	
Sign	

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### OWNER

BRADLEY E. ROBERTS AND JARED W. ROBERTS  
18519 MULE BARN ROAD  
WESTFIELD, IN 46074

Adjoiner:  
od Farms, LLC  
No. 2017007932

Adjoiner:  
Michelle Arszman  
Inst. No. 2019015321

LOT 1  
SHELBY MATERIALS  
WESTFIELD OPERATIONS  
SECONDARY PLAT  
PC 5, SLD 696

Owner: Shelby Gravel, Inc

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### PRIMARY PLAT

# C200

### CITY OF WESTFIELD NOTES

- ALL STREET TREES ARE TO MATCH THE CURRENT CITY OF WESTFIELD MASTER TREE LIST
- STREET TREES SHALL NOT BE WITHIN FOUR (4) FEET OF ANY PAVEMENT
- THERE SHALL BE NO TREES WITHIN TEN (10) FEET OF ANY STORM SEWER, INCLUDING SSD

### GENERAL NOTES:

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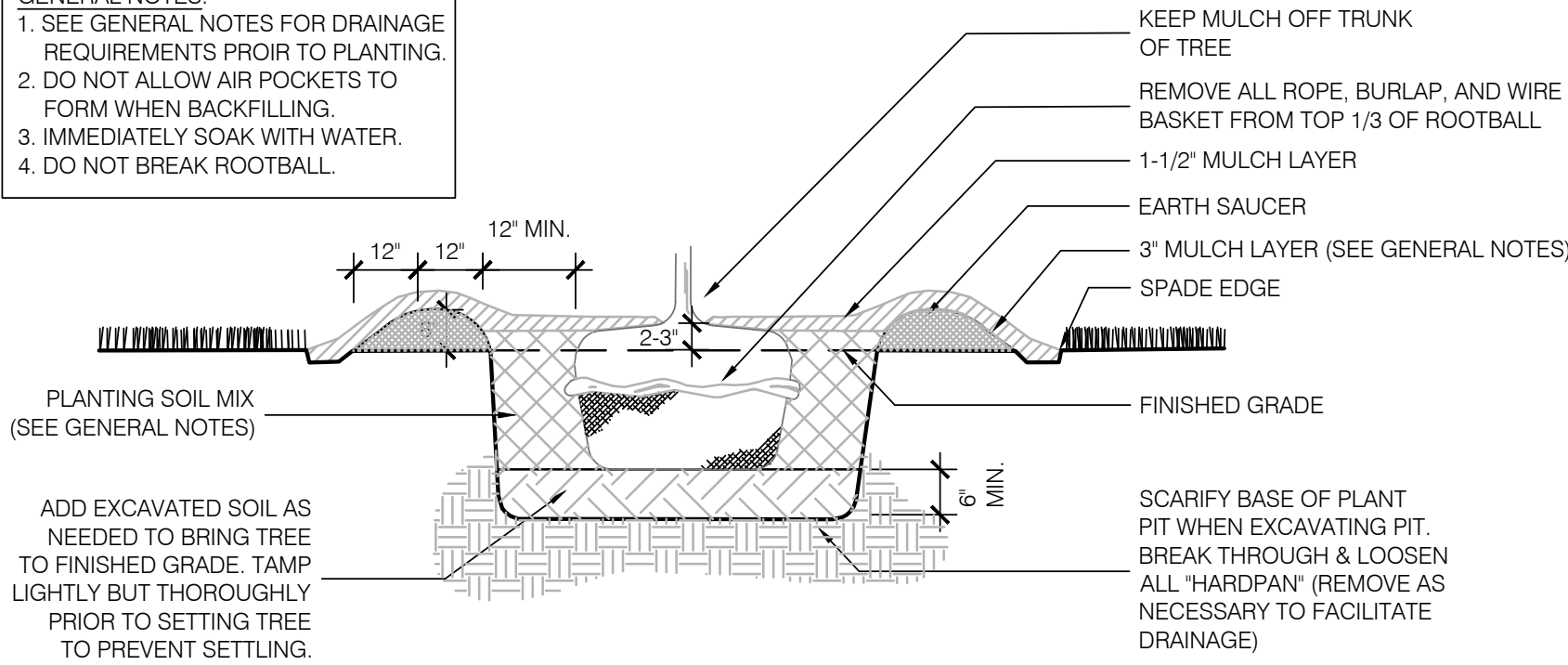
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"811" OR 1-800-382-5544  
- INDIANA UNDERGROUND -







GENERAL NOTES:  
1. SEE GENERAL NOTES FOR DRAINAGE REQUIREMENTS PRIOR TO PLANTING.  
2. DO NOT ALLOW AIR POCKETS TO FORM WHEN BACKFILLING.  
3. IMMEDIATELY SOAK WITH WATER.  
4. DO NOT BREAK ROOTBALL.



#### PLANTING PROCEDURE

- EXCAVATE ROOTBALL PIT
- ADD EXCAVATED SOIL & TAMP. SET TREE SUCH THAT TOP OF ROOTBALL IS 2-3" HIGHER THAN FINISH GRADE.
- REMOVE ALL TWINE, ROPE, WIRE BASKET, AND BURLAP FROM TOP 1/3 OF ROOTBALL & EXPOSE ROOT FLARE.
- BACKFILL WITH SOIL MIX & WATER IN.
- COMPLETE BACKFILLING, CONSTRUCT SAUCER, SPADE-EDGE & ADD MULCH.
- STAKE & GUY SECURELY (AS REQUIRED)

## 02 TREE PLANTING DETAIL

L100 SCALE: 1/2" = 1'-0"

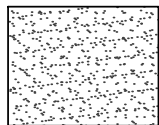
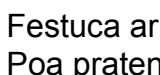
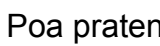
## 01 SPADE EDGE DETAIL

L100 SCALE: 3" = 1'-0"

#### PLANT SCHEDULE

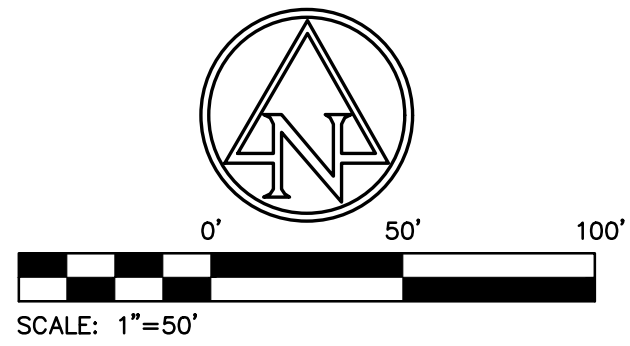
TREES	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
AC	20	Abies concolor / White Fir	B&B	6" Ht.	As Shown
PA	43	Picea abies / Norway Spruce	B&B	6" Height	As Shown
PS	52	Pinus strobus / White Pine	B&B	6" Ht.	As Shown
PO	7	Platanus occidentalis / American Sycamore	B&B	2" Cal.	As Shown
TC	10	Tilia cordata / Littleleaf Linden	B&B	2" Cal.	As Shown
TS	11	Tsuga canadensis / Canadian Hemlock	B&B	6" Height	As Shown
ORNAMENTALS	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
AL	4	Amelanchier laevis 'Cumulus' / Cumulus Allegheny Serviceberry	B&B	6" Ht.	As Shown
MP	2	Malus x 'Prairifire' / Prairifire Crabapple	B&B	2" Cal.	As Shown

#### CONCEPT PLANT SCHEDULE

	LAWN SEED - SUN AND PARTIAL SHADE MIX Seed mixes to be include hybrid varieties that are drought tolerant and winter hardy. See general notes for additional lawn seed information and installation requirements.	209,024 sf
	Festuca arundinacea / Tall Fescue	167,219 sf
	Poa pratensis / Kentucky Bluegrass	41,805 sf

#### GENERAL NOTES:

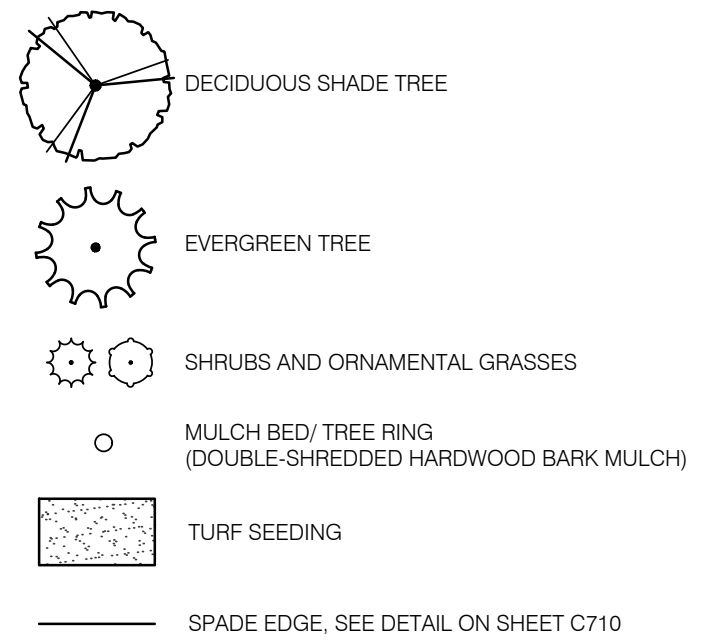
- CONTRACTOR TO VERIFY ALL UTILITY LOCATIONS IN THE FIELD PRIOR TO BEGINNING WORK. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO UTILITIES ASSOCIATED WITH WORK. UTILITIES SHALL BE REPAIRED TO SATISFACTION OF THE UTILITY OWNER AND/OR OPERATING AUTHORITY AT NO ADDITIONAL COST.
- A MINIMUM OF 4" OF TOPSOIL (3" TOPSOIL, 1" MULCH AND SOIL CONDITIONER) SHALL BE PLACED ON ALL AREAS TO BE SEED, SODDED AND PLANTED. PLANTING SOIL MIX SHALL BE FREE FROM SUBSOIL, VEGETATION, WEEDS OR ANY EXTRANEIOUS OR DELETERIOUS MATERIALS LARGER THAN 1". REMOVE ANY UNSUITABLE AND EXCESS TOPSOIL, AS DETERMINED BY SOILS ENGINEER, FROM THE SITE. FURNISH ANY ADDITIONAL TOPSOIL NEEDED AT NO ADDITIONAL COST. ADDED TOPSOIL SHALL BE INCORPORATED INTO EXISTING SOIL.
- IN CASE OF DISCREPANCIES BETWEEN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICTATE. IF IN QUESTION, CONTACT THE LANDSCAPE ARCHITECT.
- ALL PLANTING BEDS SHALL HAVE A 3" THICK LAYER OF SHREDDED HARDWOOD BARK MULCH. NO UTILITY MULCH OR PROCESSED TREE TRIMMINGS WILL BE ALLOWED. ALL PLANTING BEDS SHALL HAVE PRE-EMERGENT HERBICIDE APPLIED AS PER MANUFACTURERS RECOMMENDATION, AFTER INSTALLATION IS COMPLETE.
- FINAL PLACEMENT OF PLANT MATERIALS, ETC. SHALL BE APPROVED BY LANDSCAPE ARCHITECT BEFORE PLANTING OPERATIONS ARE TO PROCEED. ALL TREE LOCATIONS SHALL BE MARKED WITH A WOODEN STAKE INDICATING VARIETY AND SIZE OF TREE.
- NO SUBSTITUTIONS OF PLANT MATERIAL WILL BE ALLOWED. IF PLANTS ARE SHOWN TO BE UNAVAILABLE, THE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT PRIOR TO BID DATE IN WRITING. ALL PLANTS SHALL BE INSPECTED AND TAGGED WITH PROJECT IDENTIFICATION AT NURSERY OR CONTRACTORS OPERATION PRIOR TO MOVING TO JOB SITE. PLANTS MAY ALSO BE INSPECTED AND APPROVED OR REJECTED ON THE JOB SITE.
- ALL PLANTS ARE TO MEET OR EXCEED AMERICAN STANDARDS FOR NURSERY STOCK, CURRENT EDITION, AS SET FORTH BY AMERICAN ASSOCIATION OF NURSERYMEN.
- ALL TWINE, ROPE, BURLAP, AND WIRE BASKETS SHALL BE REMOVED FROM TOP ONE-THIRD OF TREES PRIOR TO COMPLETION OF INSTALLATION. IN ADDITION, ALL EXCESS SOIL SHALL BE REMOVED FROM THE TOP OF ALL ROOTBALLS TO EXPOSE ROOT FLARE.
- PLANTS AND ALL OTHER MATERIALS TO BE STORED ON SITE WILL BE PLACED WHERE THEY WILL NOT CONFLICT WITH CONSTRUCTION AND AS DIRECTED BY OWNER.
- ALL NEW LANDSCAPE PLANTINGS SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FOLLOWING FINAL INSPECTION BY LANDSCAPE ARCHITECT. AT END OF THIS PERIOD, PLANT MATERIAL TERMED DEAD OR UNSATISFACTORY BY LANDSCAPE ARCHITECT SHALL BE REPLACED AT NO ADDITIONAL CHARGE BY THE LANDSCAPE CONTRACTOR.
- ALL DISTURBED LAWN AREAS SHALL BE HYDRO-SEEDED OR SODDED AS SHOWN PER THE LANDSCAPE AND EROSION CONTROL PLANS.
- LAWN AND SOD AREAS ARE TO BE GRADED UNIFORMLY WITHOUT ANY UNDULATIONS OR IRREGULARITIES IN THE SURFACE PRIOR TO ANY HYDRO-SEED OR SOD WORK.
- ALL LAWN IS TO BE A BLEND PER THE PLANT SCHEDULE. HYDRO-SEED AREAS ARE TO HAVE 0% NOXIOUS WEED AND FREE OF DISEASE.
- PROTECT LAWN SEEDED AREAS WITH STRAW MULCH. SPREAD MULCH UNIFORMLY AT A MINIMUM RATE OF 2 TONS PER ACRE TO FORM A CONTINUOUS BLANKET 1 1/2 INCHES IN LOOSE THICKNESS OVER SEEDED AREAS.



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#### LANDSCAPE LEGEND



\*\* NOTE: FOR FULL PLANT & TURF SCHEDULE, SEE SHEET C710\*\*

**imi**  
Irving Materials, Inc.

**AMERICAN  
STRUCTUREPOINT  
INC.**  
9025 River Road, Suite 200 | Indianapolis, Indiana 46240  
TEL 317.547.5580 | FAX 317.543.0270  
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#### LANDSCAPE PLAN

L100